



Randolph County Historic Landmark Preservation Commission

201 Worth Street, Asheboro, North Carolina 27203 ♦ 336-318-6806 ♦ www.rchlpc.org

AGENDA

6 p.m. Wednesday, November 26, 2025

Asheboro Public Library, 201 Worth Street, Asheboro, N.C.

1. Call to Order - *Ross Holt (member/administrator)*
2. Swear in New Member Wallace Jarrell - *Dana Crisco, Clerk*
3. Elect Chair Pro-Tem - *Ross Holt*
4. Old Business - *Chair Pro-tem*
 - a. Approval of Minutes from Regular Meeting, February 28, 2024
5. New Business - *Chair Pro-tem*
 - a. Request for Certificate of Appropriateness, Randolph Savings and Loan Branch Bank
 - i. Evidentiary Hearing
 - ii. Consider Certificate of Appropriateness Request
6. Updates and Announcements - *Chair Pro-Tem*
7. Adjourn



Randolph County Historic Landmark Preservation Commission

201 Worth Street ♦ Asheboro, North Carolina 27203

June 26, 2024

The Randolph County Historic Landmark Preservation Commission (HLPC) met in the 1st Floor Meeting Room of the Asheboro Public Library at 201 Worth Street, Asheboro, NC, and the meeting was called to order by Chairman Mac Whatley at 6:00 p.m. Members present were Chairman Mac Whatley, Ross Holt, Lynn Qualls, Ryan Beeson, and Dan Warren. Hal Pugh arrived at 6:08. Bill Ivey, Warren Dixon, and Chip Womick were absent. Clerk to the HLPC Board Dana Crisco was also present.

Approval of Minutes

On motion of Qualls, seconded by Beeson, the HLPC voted 6-0 to approve the minutes of the February 28, 2024 meeting.

America 250 NC

Chairman Whatley gave an update of the America 250 committee planning. It will be on the July agenda for the Commissioners to appoint the committee.

Trinity College Highway Marker Update

Mr. Holt said the Trinity Marker was completed and had been placed. He showed slides of the marker.

Updates and Announcements

Mr. Holt shared that Ryan Beeson, HLPC member, would be speaking about Johnstonville and its original crossroads. He invited the Board to come and hear the presentation.

Adjourn

With no further business to discuss, on motion of Qualls, seconded by Holt, the meeting was adjourned at 6:50 p.m.

L. Mac Whatley, Chairman

Dana Crisco, Clerk to the HLPC



Randolph County Historic Landmark Preservation Commission

201 Worth St. ♦ Asheboro, North Carolina 27203

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

LOCATION 115 S Fayetteville St 7751824569
Street Address Where Work Will Be Undertaken Parcel ID

PROPERTY OWNER DLAA, LLC (Alfred C LaPrade Jr, Member Manager)
Last Name First Name MI

220 Sunset Ave
Number Street

Asheboro, NC 27203
City State Zip

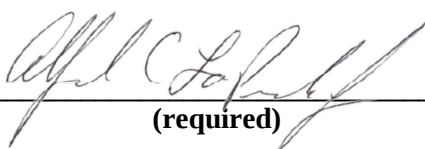
CONTACT INFO 336-953-7230 laprade@dlaallc.com 336-629-5961
Daytime Phone No. Email Fax

APPLICANT _____
(If different from owner) Last Name First Name MI

ADDRESS _____
Number Street

City State Zip

CONTACT INFO _____
Daytime Phone No. Email Fax

PROPERTY OWNER'S SIGNATURE 
(required)

APPLICANT'S SIGNATURE _____

FOR OFFICE USE ONLY

Date Received _____

Application # _____

ACTION

___ Approved	_____
___ Approved with Conditions	_____
___ Denied	_____
___ Withdrawn	_____
___ COA Not Required	_____
___ Staff Approval	_____

DATE

Describe the project clearly and in detail. Please print or type.

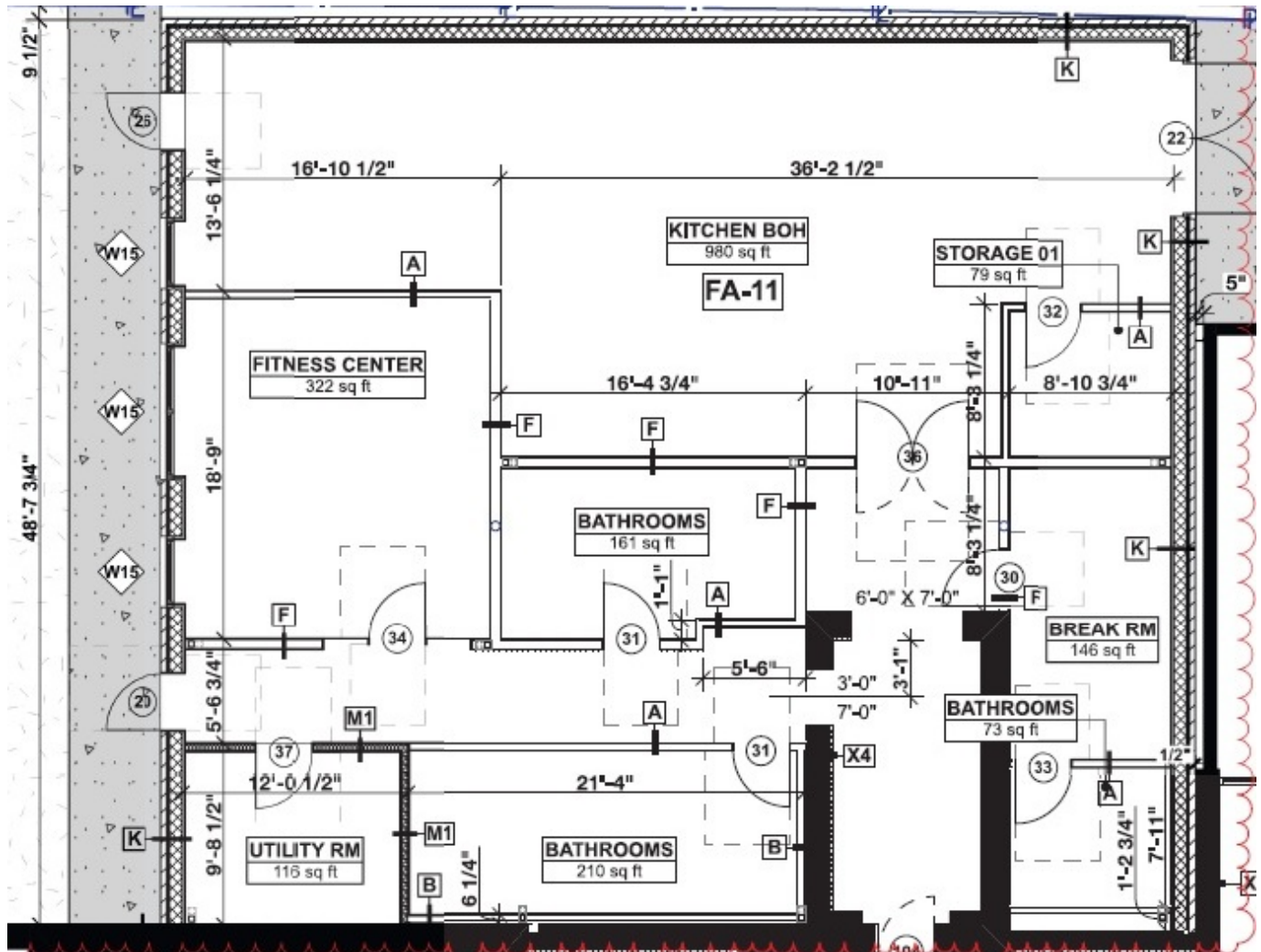
We are looking to build a new addition on the north side of 115 S Fayetteville St in the vacant lot. The new addition will house a utility room that will be used for the new sprinkler standpipe, new sewer line riser, new roof leader drains, and new domestic water lines. Also included in the addition is a fitness room, new ADA public restrooms, breakroom for employees as well as a kitchen for a restaurant for the hotel guests and public use all without changing the interior of the lobby. This addition will encapsulate the current safety deposit vault, circa 1976.

We have worked with Fearnbach History Services LLC to file part 1 and part 2 with the State Historic Preservation Office (SHPO) and National Park Service (NPS) for our project. On August 2, 2023, we received a letter from SHPO stating that the building is in the historic district, contributed significance of the district and is a "certified historic structure" for the purpose of rehabilitation as a response to part 1 application. We submitted part 2 application on 10/16/24 to SHPO & NPS along with our proposed drawings to show our intent of building the addition. On January 2, 2025, we received notification from NPS that "the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met" with conditions. Those conditions are listed below:

1. Interior Brick: The removal of paint from historic interior masonry walls must be accomplished using the gentlest means possible. Chemical, mechanical, or a combination of both techniques could meet the Standards, but the brick must not be damaged or discolored during treatment. Mock-ups must be reviewed and approved by the State Historic Preservation Office prior to the completion of work to ensure no damage occurs to underlying masonry.
2. Masonry and Marble Veneer: Repointing mortar must match the color, texture, strength, joint width, and joint profile of the existing historic masonry. Replacement brick must match the color, texture, finish, and size of the existing historic masonry. Specifications and masonry samples—including any such information pertinent to the conservation treatment of uncovered, historic marble veneer—must be reviewed and approved by the State Historic Preservation Office before proceeding with this work.
3. Openings: Windows must be repaired rather than replaced. Where new assemblies are proposed, new window openings must be compatible with the historic character. In order to ensure the proposed windows and doors meet the Standards, detailed dimensioned drawings showing them in relation to the wall assembly must be submitted for review.
4. MEP: New mechanical, electrical, and plumbing systems must be installed in a manner that has minimal effect on the historic character of the building. The installation of new systems must not result in the lower of historic ceiling heights, the removal of historic material, or impact the character of the building. In order to ensure the installation of the systems meets the Standards, details of the location, size, and concealment or finish of the ductwork and utility lines must be submitted for review once available.
5. Rooftop Deck: The proposed rooftop deck appears to be excessively large and must not be constructed as proposed. The rooftop deck and associated railing must not be visible from public rights-of-way. In order to accurately gauge the visual impact of a proposed rooftop construction, documentation in the form of physical and digital mockups must be submitted that details the location, extent, height, and visibility of all new features (handrails, club house,) from the surrounding public rights of way.

Item 5 has been changed from the NPS & SHPO submittals and is reflected in the plans provided. The new plans along with other amendments will be sent to NPS & SHPO as the project continues.

We are looking to build a new addition on the north side of 115 S Fayetteville St in the vacant lot. The new addition will house the utility room that will be used for the stand pipe for the sprinkler line, fitness room, public restrooms, break room for employees as well as a 980 sq ft kitchen for a restaurant for the hotel guest and public use. This addition will encapsulate the current safety deposit vault, circa 1976.



RECEIVED

By NC SHPO at 11:55 am, Oct 21, 2024



HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number
46728

1. **Historic Property Name** Randolph Savings and Loan Association Branch Bank

Street 115 South Fayetteville Street

City Asheboro County Randolph State NC Zip 27203-5535

Name of Historic District or National Register property Asheboro Downtown Historic District

- ☐ Listed individually in the National Register of Historic Places; date of listing _____
- ☒ Located in a Registered Historic District; name of district Asheboro Downtown Historic District
- ☒ Part 1 – Evaluation of Significance submitted? Date submitted 7/3/2023 Date of certification 8/16/2023

2. **Project Data** (for phased projects, data entered in this section must be totals for entire project)

Date of building 1963 Estimated total rehabilitation costs (QRE) \$2,400,000

Number of buildings in project 1 Floor area before / after rehabilitation 31,992 / 37,702 sq ft

Start date (estimated) 08/01/2023 Use(s) before / after rehabilitation bank / hotel

Completion date (estimated) 08/01/2025 Number of housing units before / after rehabilitation 0 / 0

Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 0 / 0

☐ Intend to apply the IRS 60-month measuring period for the purposes of substantial rehabilitation

3. **Project Contact** (if different from applicant)

Name Heather Fearnbach Company Fearnbach History Services, Inc.

Street 3334 Nottingham Road City Winston-Salem State NC

Zip 27104 Telephone (336) 765-2661 Email Address heatherfearnbach@bellsouth.net

4. **Applicant**

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

- ☒ I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
- ☐ if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Alfred C. LaPrade Jr Signature Alfred C LaPrade Jr Digitally signed by Alfred C LaPrade Jr
Date: 2024.10.16 10:17:28 -04'00' Date 10/16/2024

Applicant Entity DLAA, LLC SSN _____ or TIN 92-3141885

Street 220 Sunset Avenue City Asheboro State NC

Zip 27203 Telephone (336) 953-7230 Email Address laprade@readytelecom.com

- ☐ Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:

- ☐ the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
- ☒ the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
- ☐ the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

Date

National Park Service Authorized Signature

- ☒ NPS conditions or comments attached



HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE CONDITIONS

+Historic Property Name Randolph Savings and Loan Assoc. Branch Bank Project Number 46728
Property Address, City, State 115 South Fayetteville Street, Asheboro, NC

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

1. **Interior Brick:** The removal of paint from historic interior masonry walls must be accomplished using the gentlest means possible. Chemical, mechanical, or a combination of both techniques could meet the Standards, but the brick must not be damaged or discolored during treatment. Mock-ups must be reviewed and approved by the State Historic Preservation Office prior to the completion of work to ensure no damage occurs to underlying masonry.
2. **Masonry and Marble Veneer:** Repointing mortar must match the color, texture, strength, joint width, and joint profile of the existing historic masonry. Replacement brick must match the color, texture, finish, and size of the existing historic masonry. Specifications and masonry samples—including any such information pertinent to the conservation treatment of uncovered, historic marble veneer—must be reviewed and approved by the State Historic Preservation Office before proceeding with this work.
3. **Openings:** Windows must be repaired rather than replaced. Where new assemblies are proposed, new window openings must be compatible with the historic character. In order to ensure the proposed windows and doors meet the Standards, detailed dimensioned drawings showing them in relation to the wall assembly must be submitted for review.
4. **MEP:** New mechanical, electrical, and plumbing systems must be installed in a manner that has minimal effect on the historic character of the building. The installation of new systems must not result in the lower of historic ceiling heights, the removal of historic material, or impact the character of the building. In order to ensure the installation of the systems meets the Standards, details of the location, size, and concealment or finish of the ductwork and utility lines must be submitted for review once available.
5. **Rooftop Deck:** The proposed rooftop deck appears to be excessively large and must not be constructed as proposed. The rooftop deck and associated railing must not be visible from public rights-of-way. In order to accurately gauge the visual impact of a proposed rooftop construction, documentation in the form of physical and digital mockups must be submitted that details the location, extent, height, and visibility of all new features (handrails, club house,) from the surrounding public rights of way.

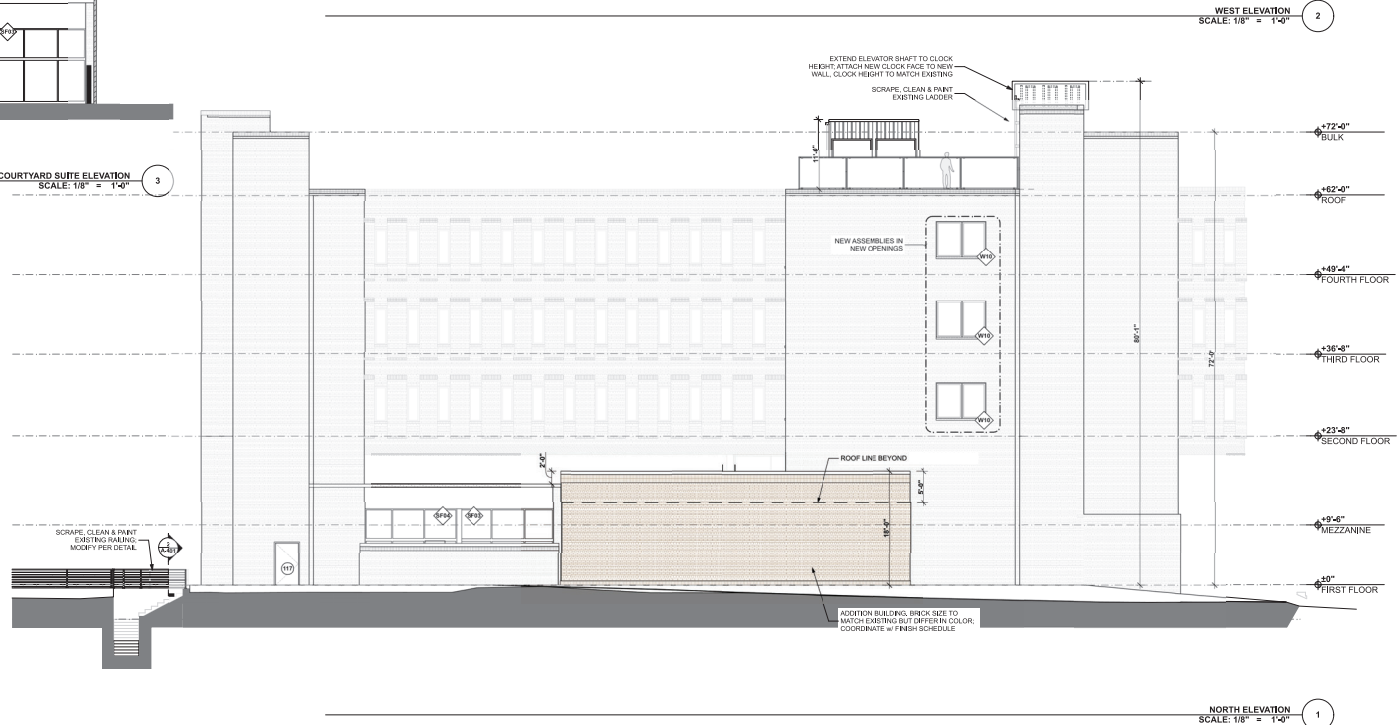
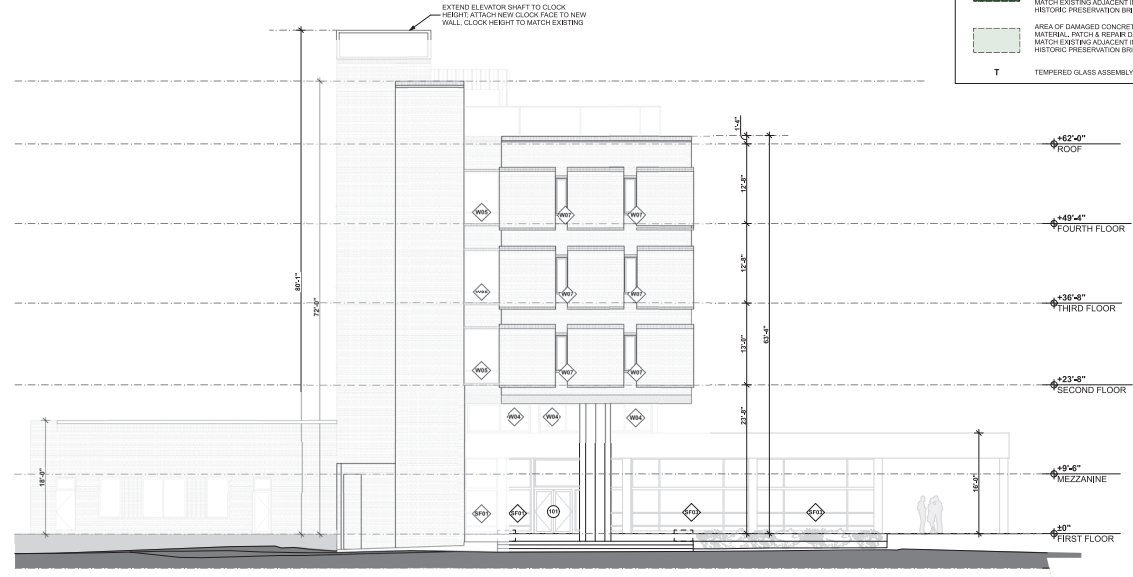
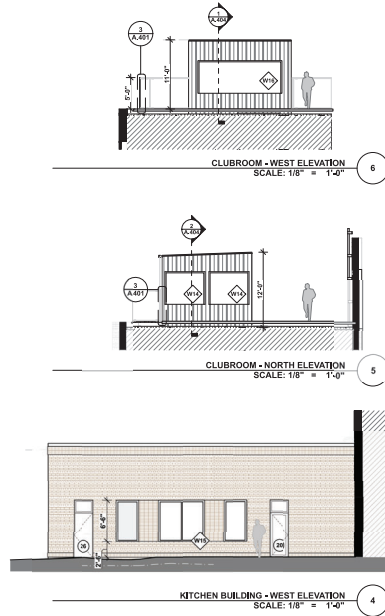
Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

Date

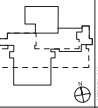
National Park Service Signature



LEGEND	
	AREA OF DAMAGED MASONRY. REMOVE DAMAGED MATERIAL AND PREPARE FOR REPOINTING OF EXISTING EXTERIOR BRICK & STONE MASONRY. MATCH NEW MORTAR TO EXISTING HISTORICAL MORTAR JOINT. COLOR, TEXTURE, & PROFILE. PATCH & REPAIR DAMAGED OR MISSING BRICKS TO MATCH EXISTING ADJACENT IN ACCORDANCE WITH THE NPS HISTORIC PRESERVATION BRIEF.
	AREA OF DAMAGED CONCRETE. REMOVE DAMAGED MATERIAL. PATCH & REPAIR DAMAGED PIER TO MATCH EXISTING ADJACENT IN ACCORDANCE WITH THE NPS HISTORIC PRESERVATION BRIEF.
	T TEMPERED GLASS ASSEMBLY



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F 804-684-4753
www.wpa.com



PERMIT SET

PROJECT # 24.26

ELEVATIONS

A.302

PERMIT SET

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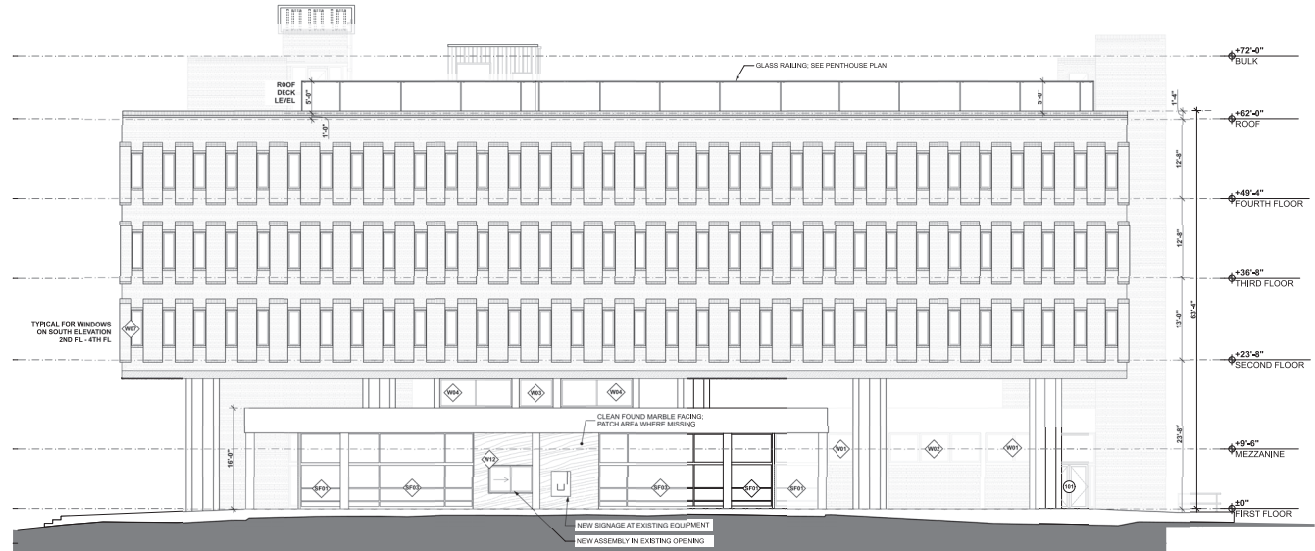
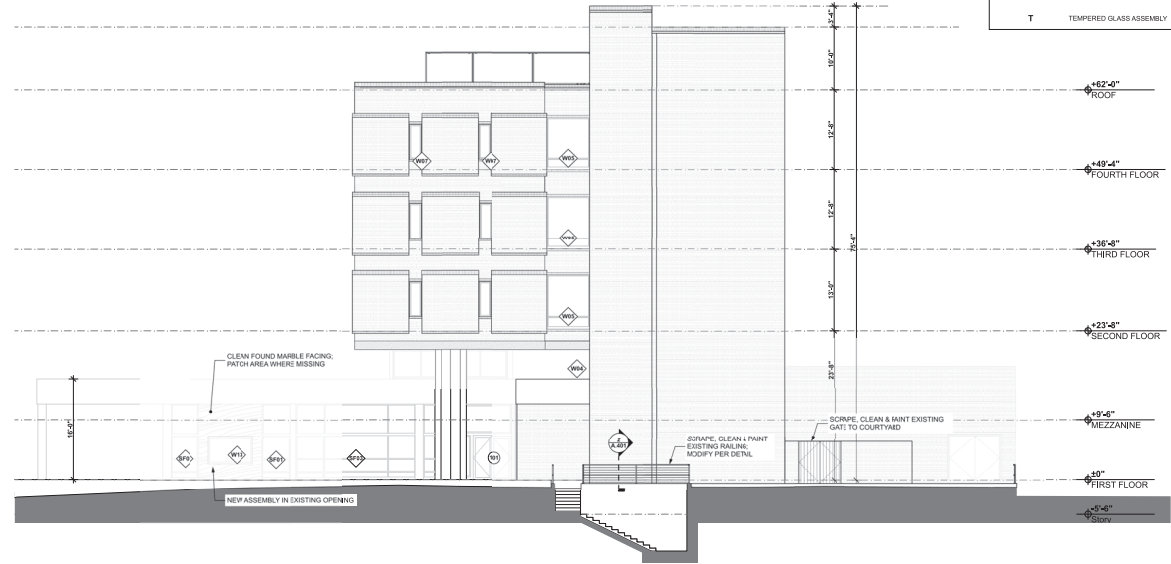
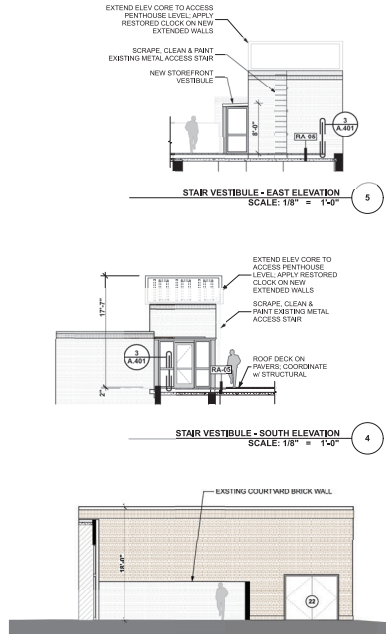
PROJECT # 24.26

ELEVATIONS

A.302

PERMIT SET

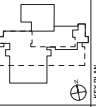
PROJECT # 24.26



LEGEND	
	AREA OF DAMAGED MASONRY. REMOVE DAMAGED MATERIAL AND PREPARE FOR REPAIRING OF EXISTING EXTERIOR BRICK & STONE MASONRY. MATCH NEW MORTAR TO EXISTING HISTORICAL MORTAR. SORT COLOR, TEXTURE, & PROFILE. PATCH & REPAIR DAMAGED OR MISSING BRICKS TO MATCH EXISTING ADJACENT IN ACCORDANCE WITH THE NPS HISTORIC PRESERVATION BRIEF.
	AREA OF DAMAGED CONCRETE. REMOVE DAMAGED MATERIAL. PATCH & REPAIR DAMAGED PIER TO MATCH EXISTING ADJACENT IN ACCORDANCE WITH THE NPS HISTORIC PRESERVATION BRIEF.
	T TEMPERED GLASS ASSEMBLY



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ID	DATE	ISSUE
01	10/24/24	PERMIT SET

PROJECT # 24.26

ELEVATIONS

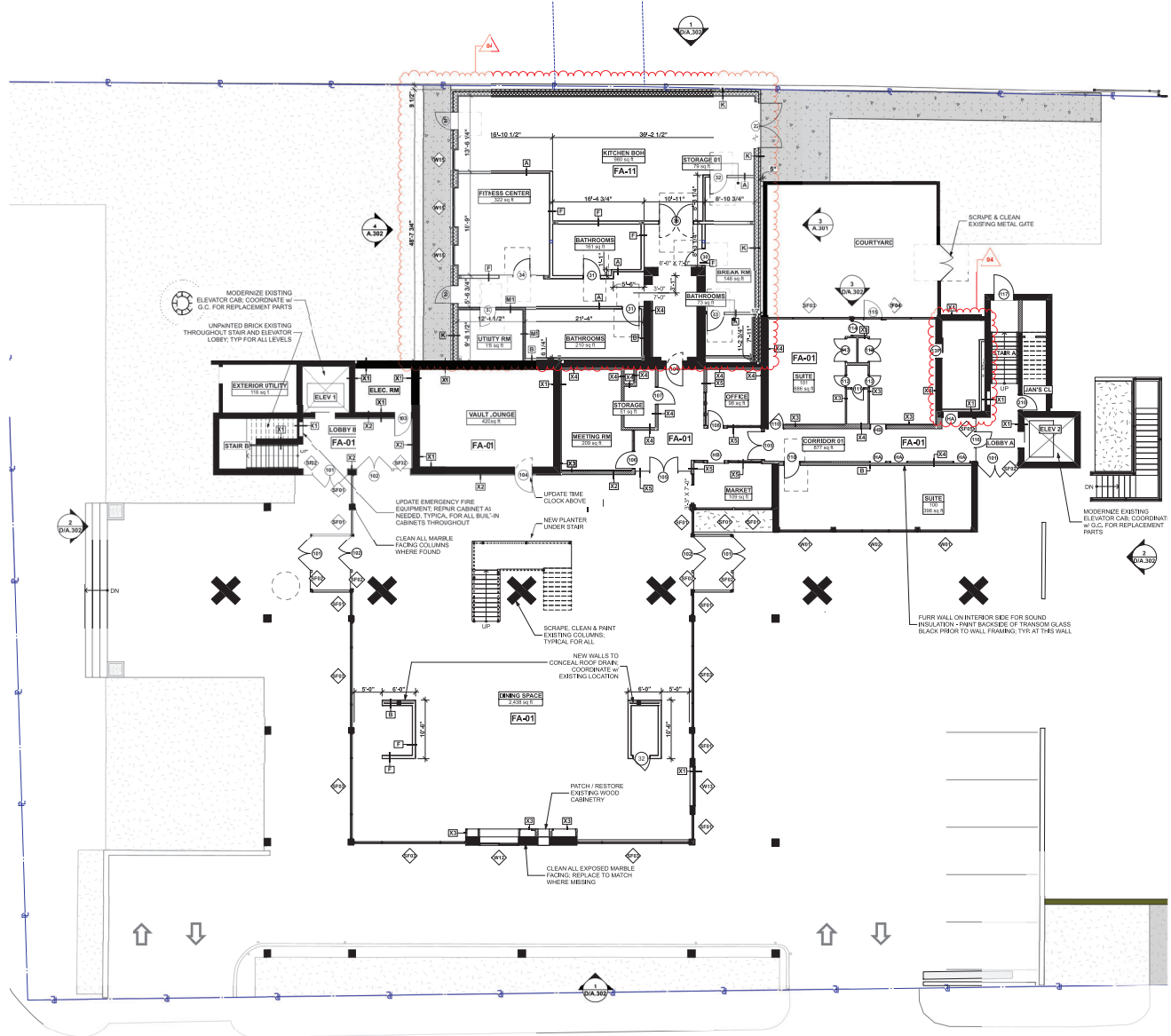
A.301

GFA SUMMARY	
Existing	SG FT
1st Floor	8,475.88
2nd Floor	6,577.35
3rd Floor	6,986.30
4th Floor	6,986.30
Courtyard	780.32
Mezzanine	1,465.44
Roof	788.08
	31,981.27 SF
New	SG FT
1st Fl. Addition	2,286.10
Roof Clubhouse	233.14
Roof Deck	3,194.72
	5,713.96 SF
	37,705.23 SF

HISTORIC ARTIFACTS			
ARTIFACT	SCOPE	LOCATION	
HA-01	VAULT DOOR SALVAGE FOR REUSE.	SCRAPE, CLEAN, SECURE TO WALL.	2ND FL. STAR B / ELEV B LOBBY
HA-02	VAULT GATE SALVAGE FOR REUSE.	SCRAPE, CLEAN, SECURE TO WALL.	2ND FL. SUITE 203

LEGEND			
	CONCRETE FLOOR		APPROXIMATE ROOF DRAIN LOCATION
	WOOD FLOORING		APPROXIMATE EXISTING DOWNSPOUT LOCATION
	SCUPPERS		FIRE CONNECTION
	HOSE BIB		FLOOR / ROOF ASSEMBLY
	TEMPERED GLASS ASSEMBLY		

REFER TO A.103 FOR WALL & FLOOR / CEILING TYPES
REFER TO A.106, A.107 & A.108 FOR DOOR AND WINDOWS TYPES AND SCHEDULES



FIRST FLOOR LAYOUT PLAN
SCALE: 1/8" = 1'-0"

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54104
NORTH CAROLINA

REF PLAN

The Bank Hotel
115 S FAYETTEVILLE ST
ASHEBORO, NC 27803

PERMIT SET

ID	DATE	ISSUE
01	10.11.24	SHEET 1/10
02	10.11.24	PERMIT SET
03	10.11.24	REV 1 - CORRECTION
04		UPDATES

PROJECT # 24.26

FIRST FLOOR PLAN
A.201